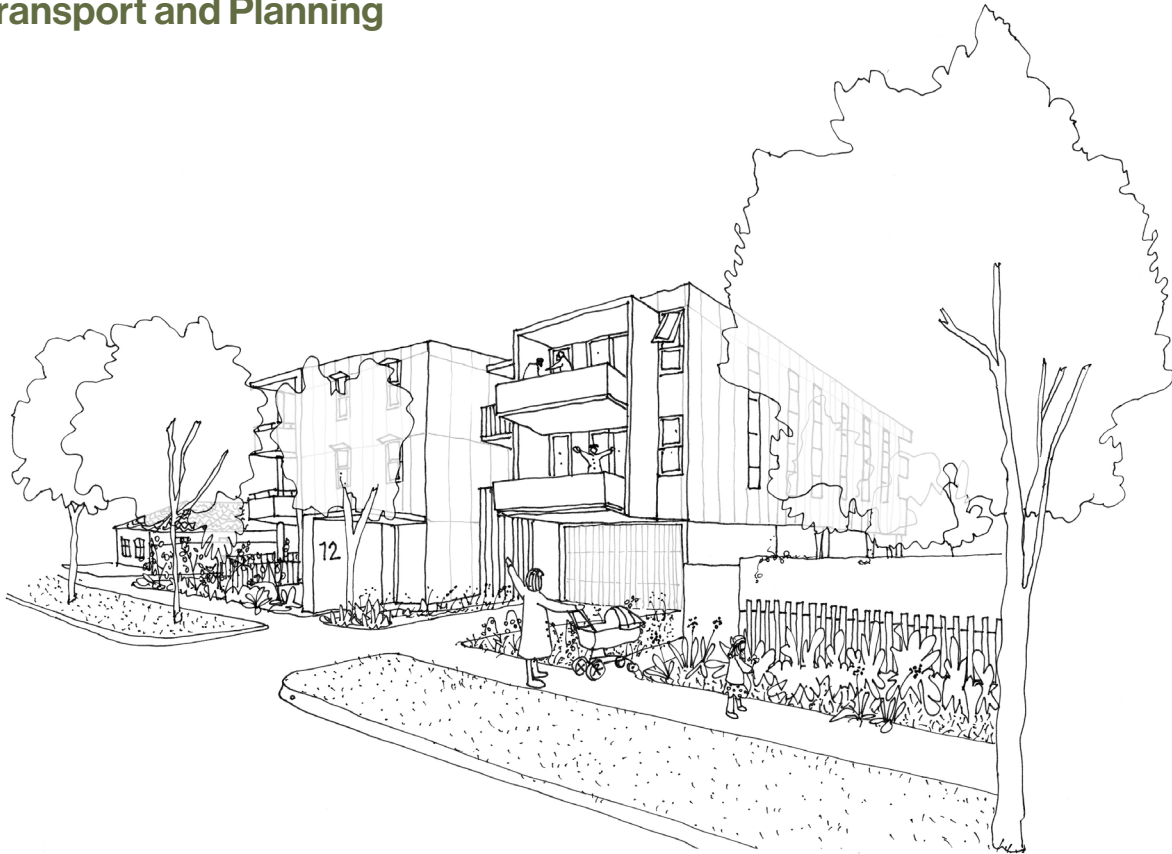


Application Requirements

Information required to accompany a referral to the Department of Transport and Planning



A Future Homes referral to the Department of Transport and Planning (DTP) must address the requirements in the *Building Future Homes: Adaptation guide* (BFHAG) and be accompanied by the following information, as appropriate.

While many of these requirements are typical application requirements, **items in bold are specific to Future Homes applications:**

General

- A recently searched full copy of title including any registered agreements and restrictive covenants

- Referral advice from any other determining referral authorities, if required
- Feature level survey of existing conditions, including any existing building footprint

Note

PDF documents must be optimised to reduce file size

Plans must be submitted as one packaged PDF document. Reports are to be submitted as individual PDF documents.

Neighbourhood and Site Description

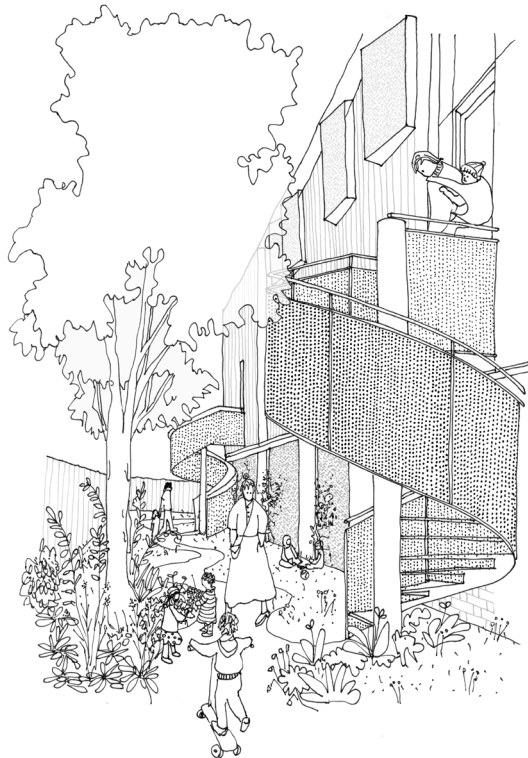
The neighbourhood and site description may use a site plan (at a scale of 1:100 or 1:200), photographs or other techniques and include an accurate description of:

- In relation to the neighbourhood:
 - The pattern of development of the neighbourhood
 - **The average street setback for the development site (approximately 150m either side)**
 - The built form, scale and character of surrounding development including front fencing
 - Architectural and roof styles
 - Any other notable features or characteristics of the neighbourhood
- In relation to the site:
 - Site shape, size, orientation and easements
 - Levels of the site and the difference in levels between the site and surrounding properties
 - The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site
 - The use of surrounding buildings.
 - The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres
 - Solar access to the site and to surrounding properties
 - Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known
 - Any contaminated soils and filled areas, where known
 - Views to and from the site
 - Street frontage features such as poles, street trees and kerb crossovers
 - The location of local shops, public transport services and public open spaces within walking distance
 - Any other notable features or characteristics of the site

Design response

The design response must explain how the proposed adaptation:

- Derives from and responds to the neighbourhood and site description
- **Anticipates the future character of its area**
- **Meets the principles, objectives, requirements and targets of the BFHAG**
- **Selects materials and finishes for the external walls consistent with the Future Homes material schedule, substitution palette or the surrounding area**



Plans/Elevations

Fully dimensioned and scaled floor plans, elevations, sections and other drawings showing:

- Demolition plan showing the extent of demolition and structures to be retained
- Development schedule, including quantity of apartments and size, car parking and bicycle spaces, allocation of storage, landscaping, garden area and other notable features
- **Material, colours and finishes generally in accordance with the Future Homes material schedule or recommended substitutions**
- Plans, elevations and sections detailing:
 - The proposed site layout including:
 - » Setbacks between site boundaries, existing and proposed buildings, and habitable room windows
 - » Driveways, new crossovers (if required) and car parking (including number of spaces and parking arrangement)
 - » **Location, quantity, allocation (eg. residents/visitors) and configuration (eg horizontal/vertical) of bicycle parking**
 - » Landscape areas, private and communal open space
 - » Storage areas, site services and waste and recycling areas including temporary holding areas, where relevant
 - **Furniture placement, breeze paths and work/study from home spaces within each apartment**
 - Notations of relative levels to Australian Height Datum (AHD) of the proposed overall building heights, floor to ceiling and finished floor levels to all structures, the slope of the land and indicating the differences between natural and finished floor levels
- Cross sectional details of any basement entry ramps and other basement entries to Australian Height Datum (AHD), showing floor levels of entry and exit areas and drainage details
- A landscape plan detailing:
 - Location of existing vegetation to be removed/retained on the subject site including the height and botanical name
 - The location of buildings and trees on neighbouring properties within 3 metres of the boundary
 - Details of surface finishes of pathways and driveways
 - A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, size and spread at maturity, and quantities of each plant
 - Any other notable landscape features or trees
- **Plans (and reports) should also demonstrate compliance with the following design considerations specified in the BFHAG:**
 - **Table 1.5 (Kitchen spatial requirements)**
 - **Chapter 2.2 (Parking: cars), in particular mandatory mechanical parking dimensions, where used and space for installation of electric vehicle charging infrastructure.**
 - **Chapter 2.3 (Parking: bicycles), in particular parking rate, configuration, and considerations for electrical bicycle charging**
 - **Table 1.13 (Accessibility design outcomes)**
 - **Table 1.14, 1.15 and 1.16 (Canopy cover and deep soil)**
 - **Table 1.17 (Waste storage area requirements)**



Reports and other documents

- A response addressing compliance with the principles and performance targets contained within the BFHAG and where the performance targets have not been met, an explanation as to why
- A response, to the satisfaction of the responsible authority, which details the proposed energy provision for the development in accordance with Clause 53.03 of the Victorian Planning Provisions
- Arborist report, where required
- Waste management plan detailing compliance with Chapter 5.5 (Site services) of the BFHAG
- Acoustic report detailing compliance with Table 1.12 (Noise influence area) of the BFHAG when a proposal is in proximity to noise source
- Traffic report confirming swept paths, turning circles and mechanical parking dimensions, where used
- A Sustainability Management Plan (SMP) prepared by a suitably qualified sustainability consultant, generally in accordance with the SMP template provided, demonstrating compliance with BFHAG

Other potential referrals

- Sites subject to flooding: www.planning.vic.gov.au/policy-and-strategy/future-homes/build-a-future-home/sites-in-flood-prone-areas
- Sites on a main road: www.planning.vic.gov.au/policy-and-strategy/future-homes/build-a-future-home/sites-on-main-roads

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